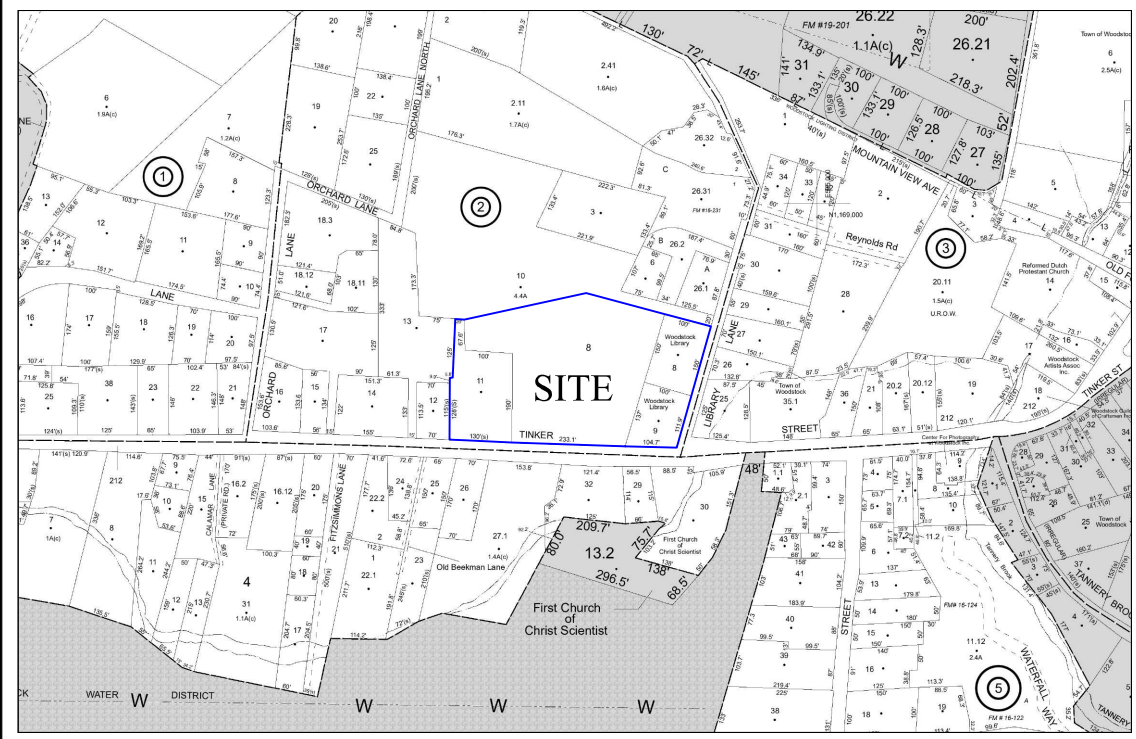




LOCATION MAP: T/o Woodstock Tax Map, Section 27.54
SCALE 1"=400'

ZONING REQUIREMENTS

FOR HC HAMLET COMMERCIAL DISTRICT
WITH CENTRAL WATER & COMMON SEWER

100 TINKER STREET	REQUIRED	EXISTING	PROPOSED
MINIMUM:			
LOT AREA	10,000 SF	±89,300 SF	±86,020 SF
LOT WIDTH	60 FT	±242 FT	±242 FT
YARD REQUIREMENTS			
FRONT	15 FT	±34 FT	±34 FT
SIDE	10 FT	±38 FT	±22 FT
REAR	25 FT	±70 FT	±68 FT
OPEN SPACE	25%	±74%	±65%
MAXIMUM:			
BUILDING HEIGHT	35 FT	<35 FT	<35 FT
BUILDING STORIES	2.5	2.5	2.5
STRUCTURE COVERAGE	25%	±7%	±10%
FLOOR AREA RATIO	0.63	±0.11	±0.12

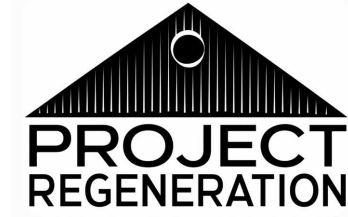
106 TINKER STREET	REQUIRED	EXISTING	PROPOSED
MINIMUM:			
LOT AREA	10,000 SF	±19,000 SF	±32,720 SF
LOT WIDTH	60 FT	±100 FT	±122 FT
YARD REQUIREMENTS			
FRONT	15 FT	±51 FT	±51 FT
SIDE	10 FT	±22 FT	±11 FT
REAR	25 FT	±76 FT	±75 FT
OPEN SPACE	25%	±76%	±79%
MAXIMUM:			
BUILDING HEIGHT	35 FT	<35 FT	<35 FT
BUILDING STORIES	2.5	2.5	2.5
STRUCTURE COVERAGE	25%	9%	12%
FLOOR AREA RATIO	0.63	0.03	0

5 LIBRARY LANE	REQUIRED	EXISTING	PROPOSED
MINIMUM:			
LOT AREA	10,000 SF	±14,950 SF	±14,950 SF
LOT WIDTH	60 FT	±150 FT	±150 FT
YARD REQUIREMENTS			
FRONT	15 FT	±13 FT	±13 FT
SIDE	10 FT	±8 FT	±8 FT
REAR	25 FT	±4 FT	±4 FT
OPEN SPACE	25%	47%	±47%
MAXIMUM:			
BUILDING HEIGHT	35 FT	<35 FT	<35 FT
BUILDING STORIES	2.5	2.5	2.5
STRUCTURE COVERAGE	25%	±56%	±56%
FLOOR AREA RATIO	0.63	-	-

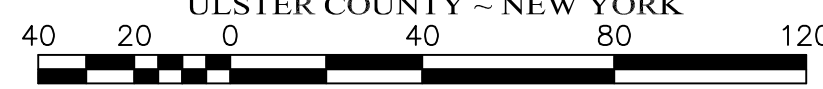
LIBRARY LANE	REQUIRED	EXISTING	PROPOSED
MINIMUM:			
LOT AREA	10,000 SF	±12,645 SF	±12,645 SF
LOT WIDTH	60 FT	±100 FT	±100 FT
YARD REQUIREMENTS			
FRONT	15 FT	N/A	N/A
SIDE	10 FT	N/A	N/A
REAR	25 FT	N/A	N/A
OPEN SPACE	25%	87%	87%
MAXIMUM:			
BUILDING HEIGHT	35 FT	0 FT	0 FT
BUILDING STORIES	2.5	0	0
STRUCTURE COVERAGE	25%	0%	0%
FLOOR AREA RATIO	0.63	0	0

FLOOR AREA RATIO (FAR)
The amount of floor area in relation to the amount of site or lot area. Floor area ratio shall apply to all nonresidential uses and shall be calculated by comparing the total amount of floor area for all nonresidential uses on a site to the total amount of site or lot area as expressed in square feet. For example, a floor area ratio of 0.5 (which may also be expressed as 0.5:1 or 0.5 to one inch) means 0.5 square foot of floor area for every one square foot of site area.

INDEX SHEET



FOR
HOMESICK BLUES LLC
TOWN OF WOODSTOCK
ULSTER COUNTY ~ NEW YORK



Scale: 1" = 40'

FEBRUARY 17, 2026

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SHEET 1 OF 8

OWNER	TAX MAP ID#	ACRES
HOMESICK BLUES LLC	27.54-2-10.100	±2.05 AC
100 TINKER STREET	27.54-2-8	±0.34 AC
WOODSTOCK, NY	27.54-2-9	±0.29 AC
	27.54-2-11	±0.44 AC
TOTAL:		±3.12 AC

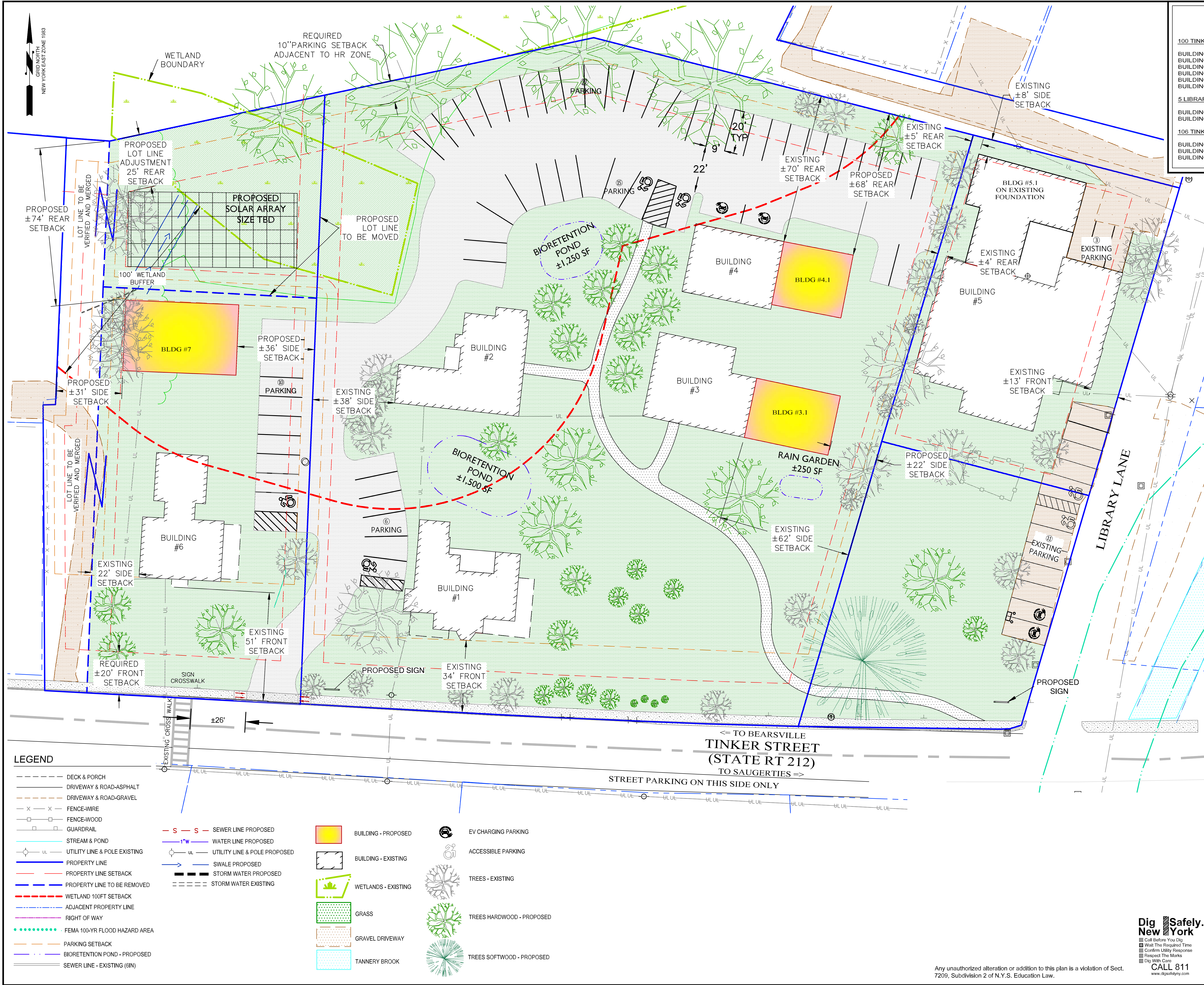
MAP REVISION DATES

DATE	REVISION	BY
7/30/2026	COMMENTS PER PB PLANNER	SL

INDEX	DESCRIPTION	SHEET #
I	INDEX SHEET	1
SP	SITE PLAN	2
EC	EXISTING CONDITIONS	3
GUP	GRADING & UTILITY	4
LIP	LIGHTING PLAN	5
D-1	DETAILS*	6
LP	LANDSCAPING PLAN*	7
HIP	HIGHWAY IMPROVEMENT PLAN	8

* TO BE PROVIDED AT A LATER SUBMISSION





BUILDING INVENTORY

(**PROPOSED / **EXISTING)

100 TINKER STREET:	SF FLOOR 1	SF FLOOR 2	SF TOTAL	HEIGHT
BUILDING #1 - **VICTORIAN HOUSE	±1,100 SF	±1,000 SF	±2,100 SF	±34.5 FT
BUILDING #2 - **OFFICES	±1,970 SF	?	?	?
BUILDING #3 - **FRONT BARN	±1,740 SF	±1,280 SF	±3,020 SF	±21 FT
BUILDING #3.1 - **GREEN HOUSE	±1,000 SF	-	±1,000 SF	±21 FT
BUILDING #4 - **BACK BARN	±1,290 SF	±1,290 SF	±2,580 SF	±21 FT
BUILDING #4.1 - **OFFICES	±990 SF	±990 SF	±1,980 SF	±21 FT
5 LIBRARY LANE:				
BUILDING #5 - **OFFICES	±4,900 SF	±1,200 SF	±6,100 SF	24.5 FT
BUILDING #5.1 - **HOUSING	±1,700 SF	±1,700 SF	±3,400 SF	24.5 FT
106 TINKER STREET:				
BUILDING #6 - **HOUSING	±1,180 SF	±1,060 SF	±2,240 SF	<35 FT
BUILDING #7.1 - **HOUSING	±1,700 SF	0 SF	±1,700 SF	±28 FT
BUILDING #7.2 - **HOUSING	0 SF	±1,700 SF	±1,700 SF	±28 FT

PARKING REQUIREMENTS

100 TINKER STREET:	REQUIRED	PROVIDED
BUILDING #1 - VICTORIAN HOUSE: •HOUSING - Multifamily dwelling: two spaces per dwelling unit 2 UNITS (4)	4	3
•RETAIL BUSINESS (500SF TOTAL): one space per 200 square feet of floor area used to display or sell merchandise or provide a service, plus one space per employee. ±500 SF (2.5) + 1 EMPLOYEES (1)	3.5	3
BUILDING #2: •OFFICES closed to public: 1 per employee / owner & 1 per guest 15 + 0	6	6
BUILDING #3 - BARN #1: •CAFE - RESTAURANT 1 per 3 seats or 50 SF 400 SF Employees (2x)	8 2	8 2
•OFFICES closed to public: 1 per employee / owner & 1 per guest 8 + 2	10	10
BUILDING #4 - BARN #2: •OFFICES open to public: 1 per employee / owner & 1 per 300sf 6 + 9.1	16	10
5 LIBRARY LANE:		
BUILDING #5 - OLD LIBRARY: •OFFICES closed to public: 1 per employee / owner & 1 per guest 25 + 5	30	30
•HOUSING - Multifamily dwelling: two spaces per dwelling unit 5 units	10	5
106 TINKER ST:		
BUILDING #6, #7 - HOME and 2 new housing units •HOUSING - Multifamily dwelling: two spaces per dwelling unit 6 UNITS	12	6
ACCESSIBLE SPACES	(5)	(6)
TOTAL	102	86
TOTAL PROPOSED ON SITE		72

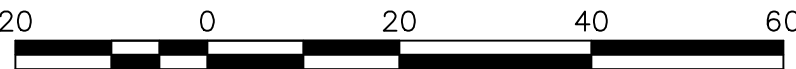
MAP REVISION DATES

DATE	REVISION	BY
2026-06-30	COMMENTS PER PB PLANNER	SL
07/30/2026	DEVELOPMENT	SL

SITE PLAN



FOR
HOMESICK BLUES LLC
TOWN OF WOODSTOCK
ULSTER COUNTY ~ NEW YORK



Scale: 1" = 20'

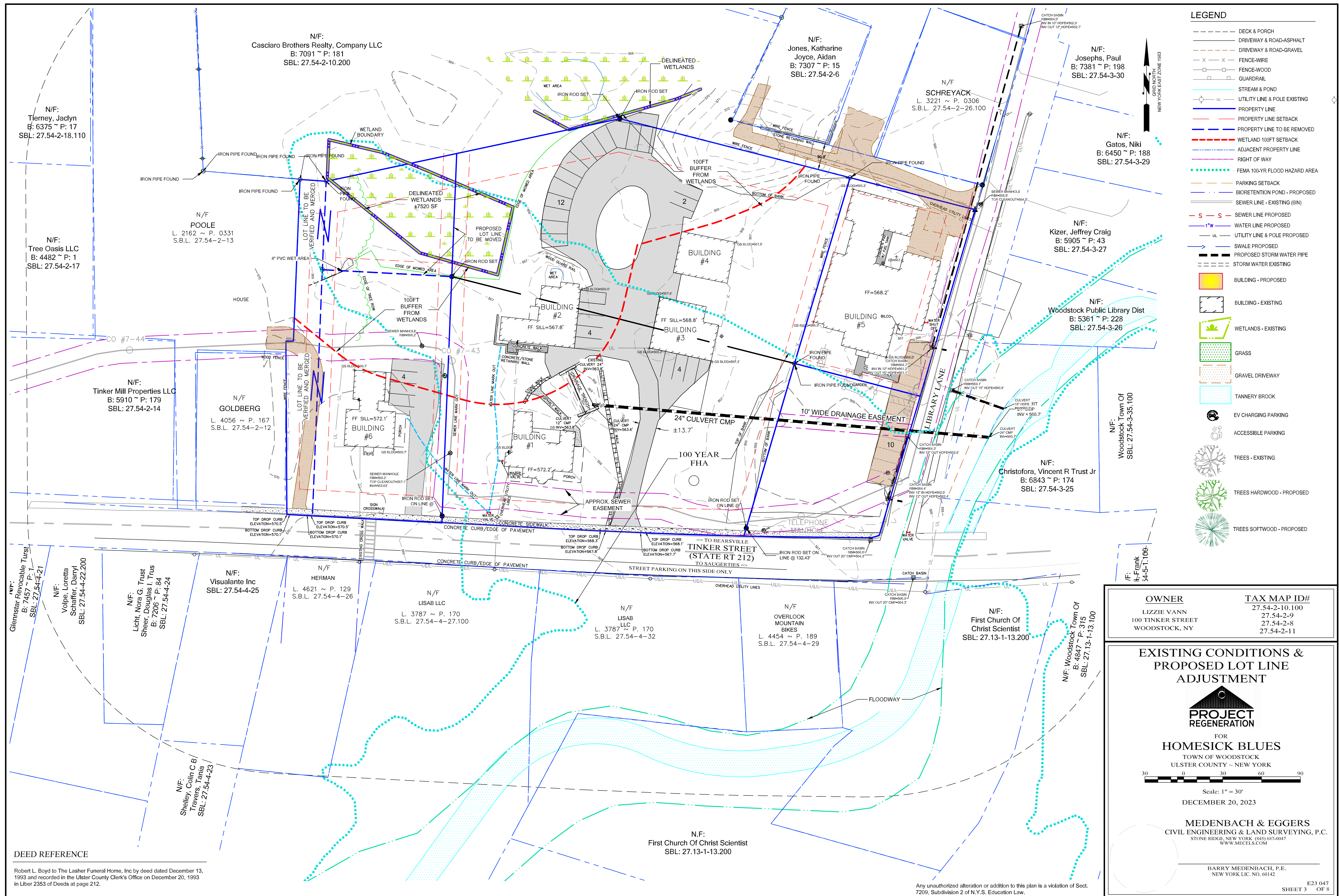
FEBRUARY 17, 2026

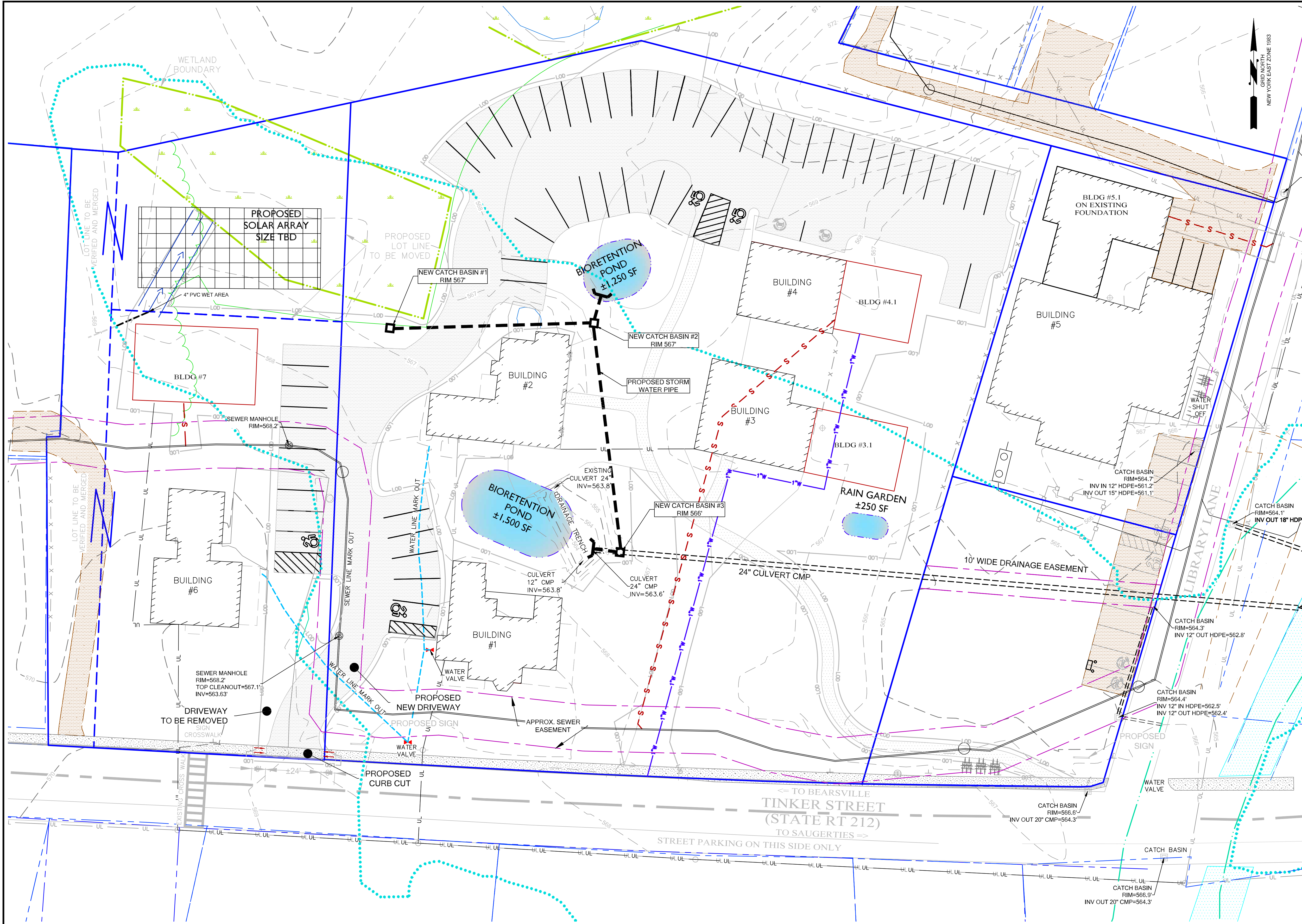
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7209, Subdivision 2 of N.Y.S. Education Law.





LEGEND

- DECK & PORCH
- DRIVEWAY & ROAD-ASPHALT
- DRIVEWAY & ROAD-GRAVEL
- FENCE-WIRE
- FENCE-WOOD
- GUARDRAIL
- STREAM & POND
- UTILITY LINE & POLE EXISTING
- PROPERTY LINE
- PROPERTY LINE SETBACK
- PROPERTY LINE TO BE REMOVED
- WETLAND 100FT SETBACK
- ADJACENT PROPERTY LINE
- RIGHT OF WAY
- FEMA 100-YR FLOOD HAZARD AREA
- PARKING SETBACK
- BIORETENTION POND - PROPOSED
- SEWER LINE - EXISTING (6IN)
- S S SEWER LINE PROPOSED
- 1"W WATER LINE PROPOSED
- UL UTILITY LINE & POLE PROPOSED
- SWALE PROPOSED
- STORM WATER PROPOSED
- STORM WATER EXISTING
- BUILDING - PROPOSED
- BUILDING - EXISTING
- WETLANDS - EXISTING
- GRASS
- GRAVEL DRIVEWAY
- TANNERY BROOK
- EV CHARGING PARKING
- ACCESSIBLE PARKING
- TREES - EXISTING
- TREES HARDWOOD - PROPOSED
- TREES SOFTWOOD - PROPOSED

MAP REVISION DATES

DATE	REVISION	BY
07/30/2026	COMMENTS PER PB PLANNER	SL

PRELIMINARY GRADING & UTILITY PLAN



FOR
HOMESICK BLUES LLC
TOWN OF WOODSTOCK
ULSTER COUNTY ~ NEW YORK



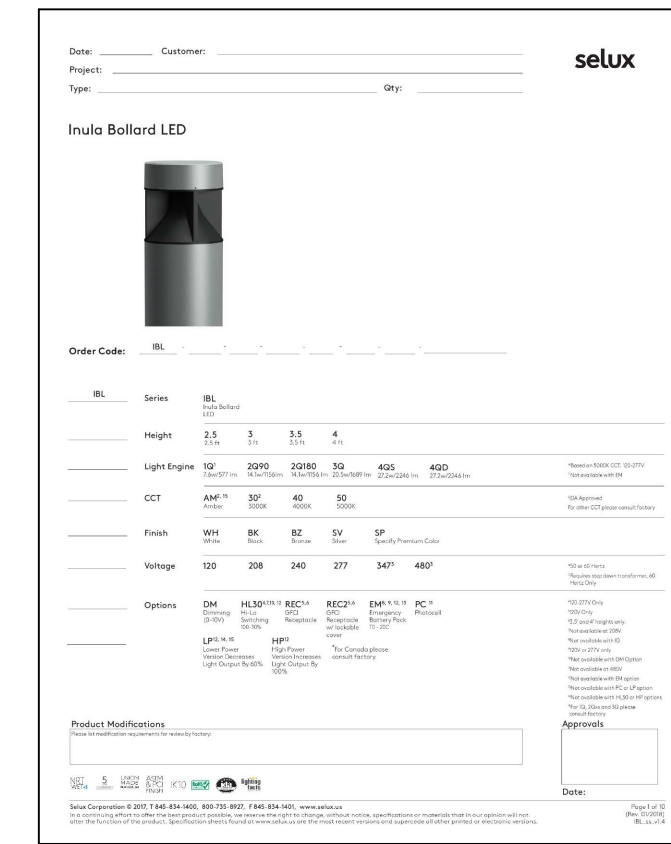
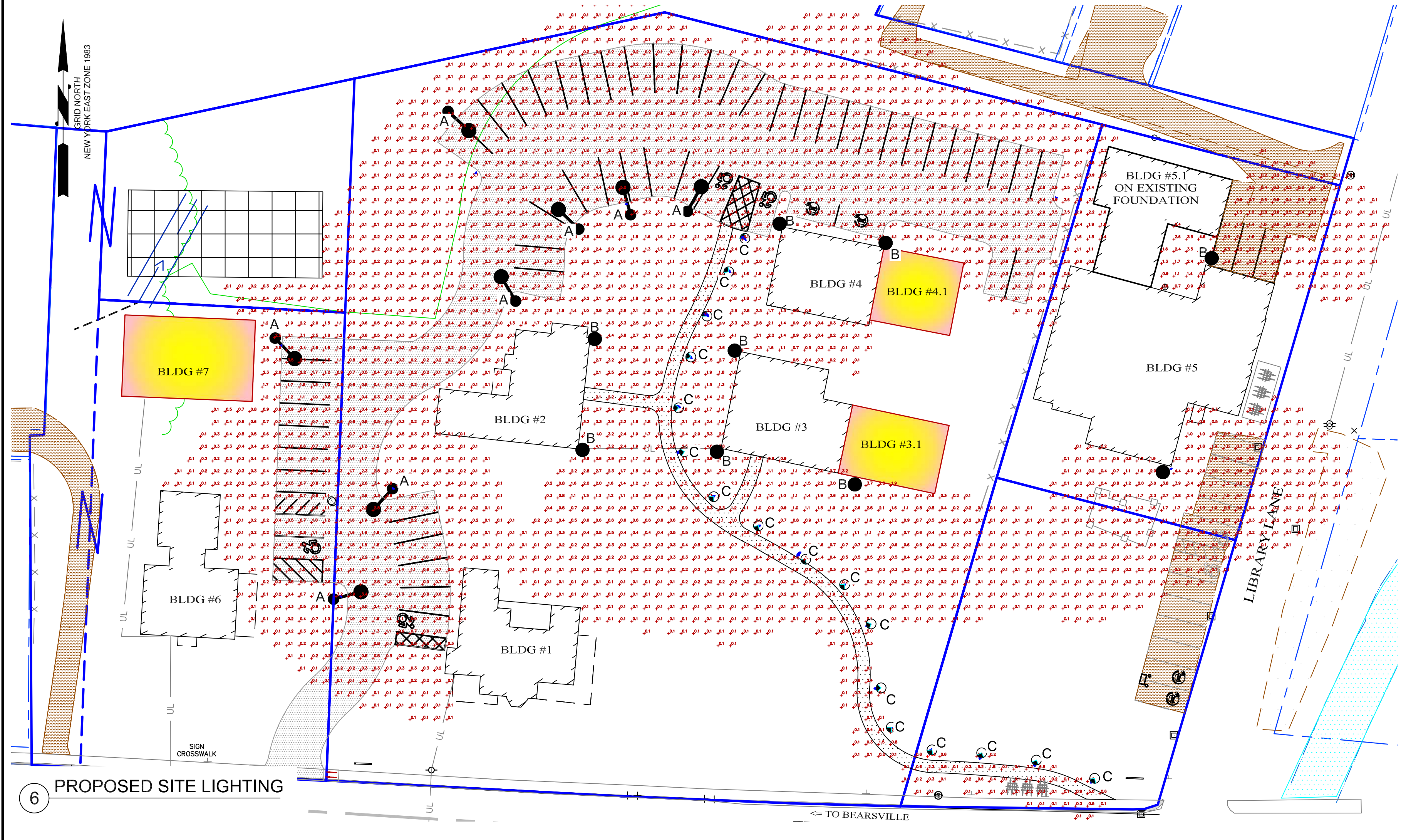
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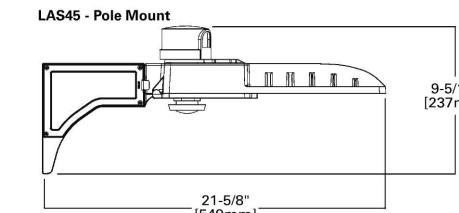


BOLLARD LIGHT DETAIL
(FIXTURE E)

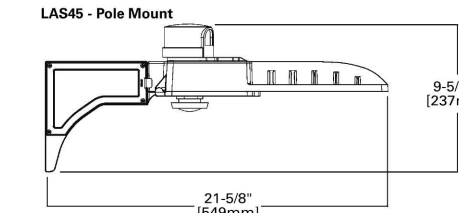
INULA
MODEL: TQ 3.5FT 7 WATT LED 2700K OR EQUAL
REFERENCE ARCHITECTURAL PLANS FOR FINAL LIGHT FIXTURES

LIGHTING LEGEND				
FIXTURE	Wattage (TYPE)	DENOTED BY	HEIGHT PLACEMENT	QYT.
A	51W (LED) TYPE 5		14'-16'	5
B	10W (LED)		8'	10
C	7 W (LED)		3.5'	17

Dimensional Details



Dimensional Details



POLE MOUNTED LIGHT DETAIL (FIXTURE A)

EATON/COOPER (LUMARK) (LAMP AND POLE COLOR TO BE VERIFIED BY OWNER):
ALL MODEL'S SHALL BE DARK SKY COMPLIANT -
A 51 WATT LED LAMP MODEL# LAS AREA/SITE LUMINAIRE CERTIFIED U0 BUG OPTIONS, 0 DEGREE TILT
30000K TYPE III (PERIMETER) & V (ISLAND)
WITH NEMA PHOTOCONTROL

WALL LIGHT (FIXTURE B)

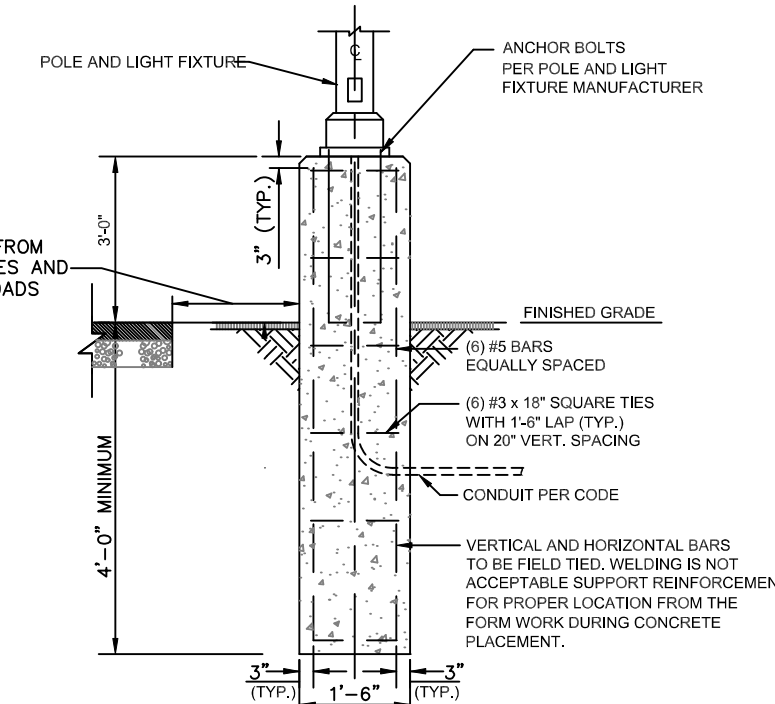
EATON/COOPER (LUMARK) (LAMP AND POLE COLOR TO BE VERIFIED BY OWNER):
ALL MODEL'S SHALL BE DARK SKY COMPLIANT -
A 51 WATT LED LAMP MODEL# LAS AREA/SITE LUMINAIRE CERTIFIED U0 BUG OPTIONS, 0 DEGREE TILT
30000K TYPE III (PERIMETER) & V (ISLAND)
WITH NEMA PHOTOCONTROL

- LIGHTING NOTES:
- ALL SITE LIGHTING IS TO BE 3000K AND FULL CUT-OFF STANDARDS OF IESNA.
 - ALL SITE LIGHTING IS TO BE DIMMED TO 50% OR LESS AFTER HOURS OF OPERATION.

POLE MOUNTED LIGHT DETAIL (FIXTURE A)

94 WATT KAD LED MODEL#: KAD LED 60C 530 40K MVOLT HS OR EQUAL

TYPICAL LIGHT BASE



NOTES:
1. 3000 PSI MIN 28 DAY COMPRESSIVE STRENGTH
CONCRETE WITH GRADE 60 REINFORCING STEEL
2. EXPOSED CONCRETE AND GROUT SHALL BE PAINTED
COLOR AND PAINT TYPE IS TO BE SELECTED BY THE ARCHITECT

MAP REVISION DATES

DATE	REVISION	BY

LIGHTING PLAN



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SHEET 5 OF 8

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PLANTINGS

TYPE:	QUANTITY	SCIENTIFIC NAME
1. "JONATHAN" APPLE	4	
2. "LIBERTY" APPLE	4	
3. RIVER BIRCH	3	
4. PUSSY WILLOW	1	
5. BALD CYPRESS	1	
6. REDBUD	1	
7. SERVICEBERRY	1	
8. SWEETBAY MAGNOLIA	1	
9. AMERICAN CHESTNUT	1	
10. AMERICAN HAZELNUT	4	
11. PAW PAW	2	
12. CUCUMBER MAGNOLIA	2	
13. WITCH HAZEL	4	
14. BEAUTY BERRY	4	
15. PERSIMMON TREE	1	
16. WEEPING WILLOW	1	
17. FRINGE TREE	1	

MAP REVISION DATES		
DATE	REVISION	BY
7/30/2026	COMMENTS PER PB PLANNER	SL

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- PARKING SETBACK
- BIORETENTION POND - PROPOSED
- SEWER LINE - EXISTING (GIN)
- SEWER LINE PROPOSED
- WATER LINE PROPOSED
- UTILITY LINE & POLE PROPOSED
- SWALE PROPOSED
- PROPOSED STORM WATER PIPE
- STORM WATER EXISTING
- BUILDING - PROPOSED
- BUILDING - EXISTING
- WETLANDS - EXISTING
- GRASS
- GRAVEL DRIVEWAY
- TANNERY BROOK
- EV CHARGING PARKING
- ACCESSIBLE PARKING
- TREES - EXISTING
- TREES HARDWOOD - PROPOSED
- TREES SOFTWOOD - PROPOSED

LANDSCAPING PLAN

PROJECT REGENERATION

FOR
HOMESICK BLUES LLC

TOWN OF WOODSTOCK
ULSTER COUNTY ~ NEW YORK

Scale: 1" = 20'

FEBRUARY 17, 2026

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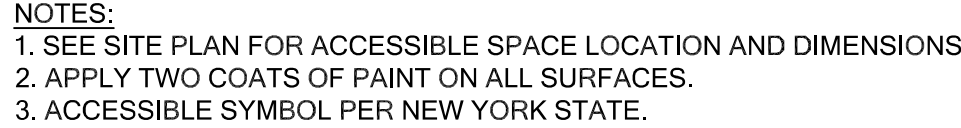
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SHEET 7 OF 8

**Curb Ramp Notes:**

- 6

NOT TO SCALE



NOT TO SCALE



HORIZONTAL SCALE 1=10'
VERTICAL SCALE 1=2'



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

SQUARE FEET PER SIDE:	±12 SF
TOTAL SQAURE FEET:	±24 SF


$$1'' = 10'$$
HIGHWAY IMPROVEMENT PLAN

Scale: 1" = 30'

JUNE 26, 2026

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