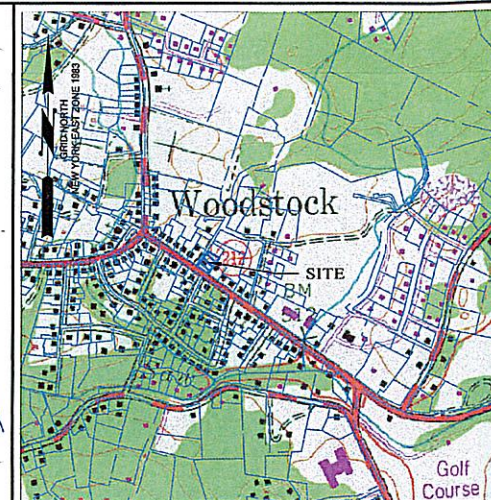
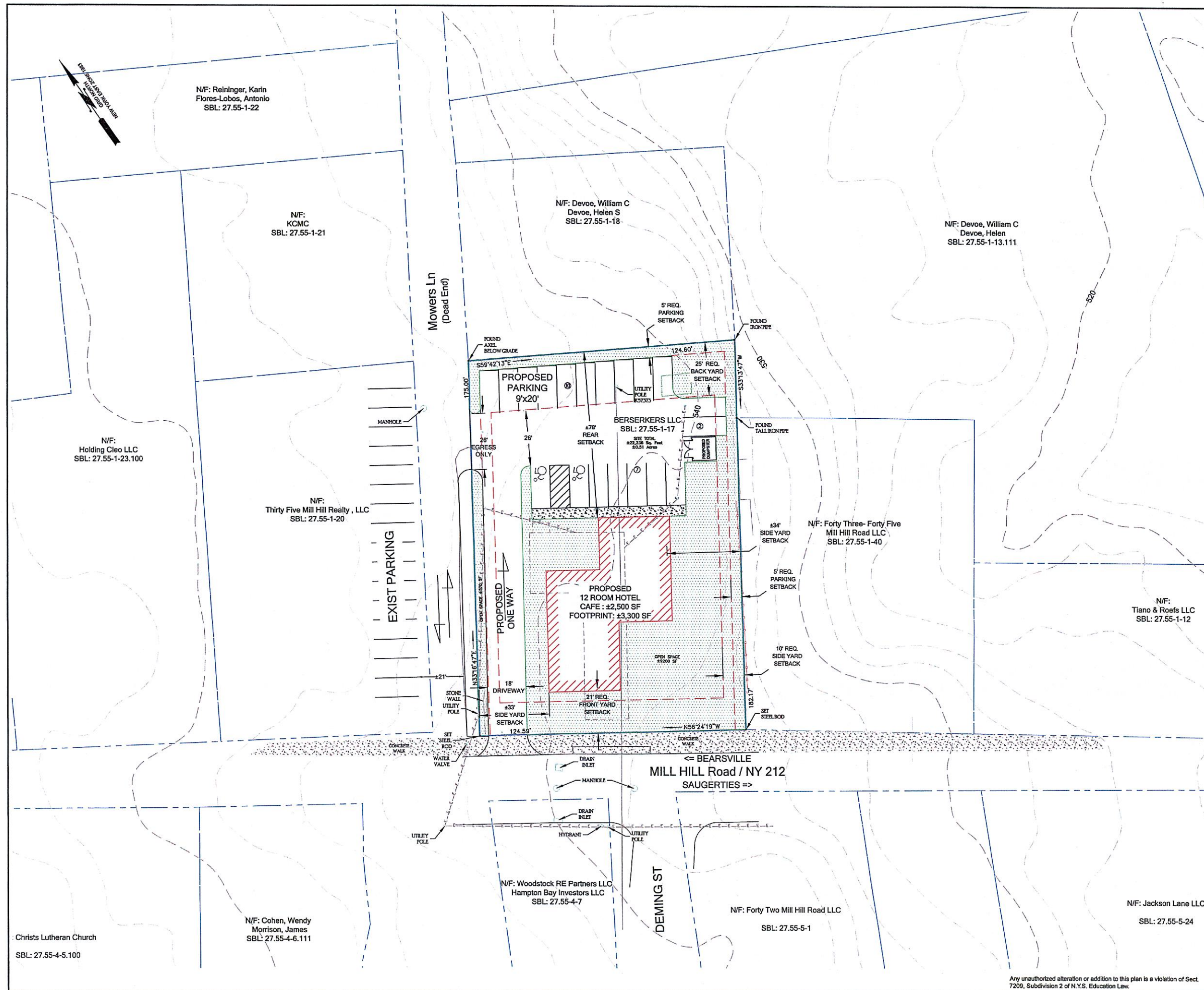




ZONING REQUIREMENTS
FOR HC HAMLET COMMERCIAL ZONE

MINIMUM:	REQUIRED	PROPOSED
LOT AREA	10,000 SF	±22,236 SF
LOT WIDTH	60 FT	±124 FT
ROAD FRONTAGE	100 FT	±124 FT
YARD SETBACKS		
FRONT*	15 FT	21 FT
SIDE*	10 FT	±33 FT
REAR	25 FT	±78 FT
OPEN SPACE (±9770 SF)	25%	±44%
MAXIMUM:		
BUILDING HEIGHT	35 FT	35 FT
BUILD. FOOTPRINT SF	±3,335 SF	±3,300 SF
STRUCTURE COVERAGE	15%	±14.8%
FLOOR AREA RATIO**	0.63	(3,300/22,236*100) 0.57
PARKING REQUIREMENTS		
-HOTEL 1 SPACE PER ROOM	12	12
-CAFE (±2500 SF WITH ±1200 SF CUSTOMER AREA)	24	4 + FIL
1 SPACE PER 3 SEATS OR 50 SF****	24	4 + FIL
-EMPLOYEES	6	3 + FIL
(ACCESSIBLE SPACES)	(2)	(2)
TOTAL	42	19

NOTES:
 * Adequate space must be provided between the front and side lot lines and structures for any needed improvements such as sidewalks, curbing, street trees and open space.
 ** Number of square feet of nonresidential floor area for every one square foot of site area.
 *** Retail business, store or service shop: one space per 200 square feet of floor area used to display or sell merchandise or provide a service, plus one space per employee.
 **** Eating and drinking establishment: one space per three seats or 50 square feet of floor space available to patrons, whichever is greater, whether such seats or floor area is situated within an enclosed building or outdoor service area.

MAP REVISION DATES

DATE	REVISION	BY

OWNER
Berserkers LLC
39 Schildknecht Rd
Hurley, NY 12443

LOT AREA
±0.51 ACRES (±22,236 SF)
TAX MAP ID#
27.55-1-17

SITE PLAN
FOR
BERSERKERS LLC
TOWN OF WOODSTOCK
ULSTER COUNTY - NEW YORK

Scale: 1" = 20'

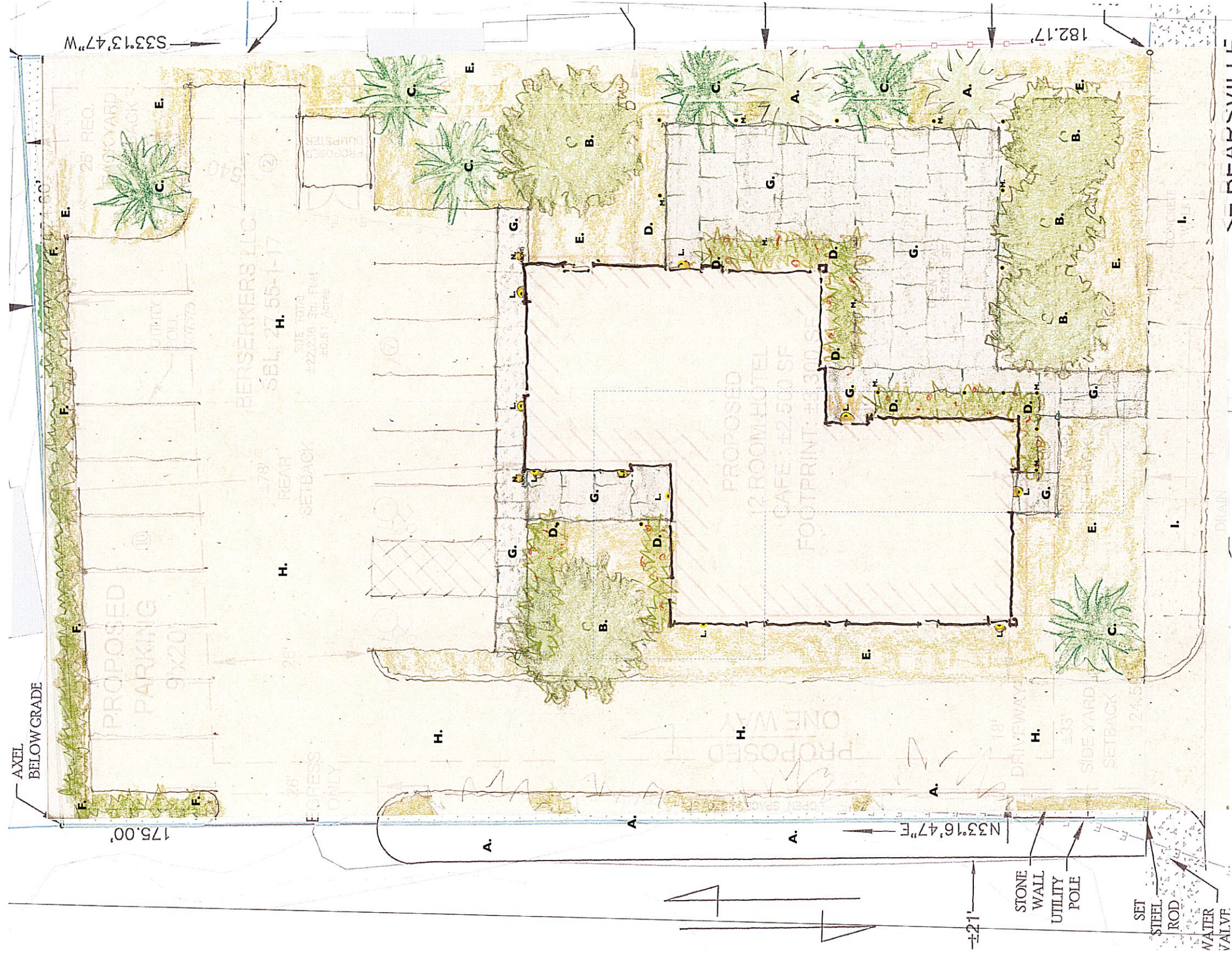
DECEMBER 11, 2024

MEDENBACH, EGGERS & CARR
CIVIL ENGINEERING & LAND SURVEYING, P.C.
STONE RIDGE, NEW YORK (445) 687-0047
WWW.MECELS.COM

Barry Medenbach
Barry Medenbach, P.E.
NEW YORK LIC. NO. 60142

E24 028
SHEET 1 OF 2

Any unauthorized alteration or addition to this plan is a violation of Sect. 7209, Subdivision 2 of N.Y.S. Education Law.



A LANDSCAPE/LIGHTING SKETCH
Scale: 1/8" = 1'-0"



ROAD (PARKING) | WALL ENTRY/WALKWAYS
SHIELDED LIGHTING PRECEDENTS

ANNOTATION LEGEND:

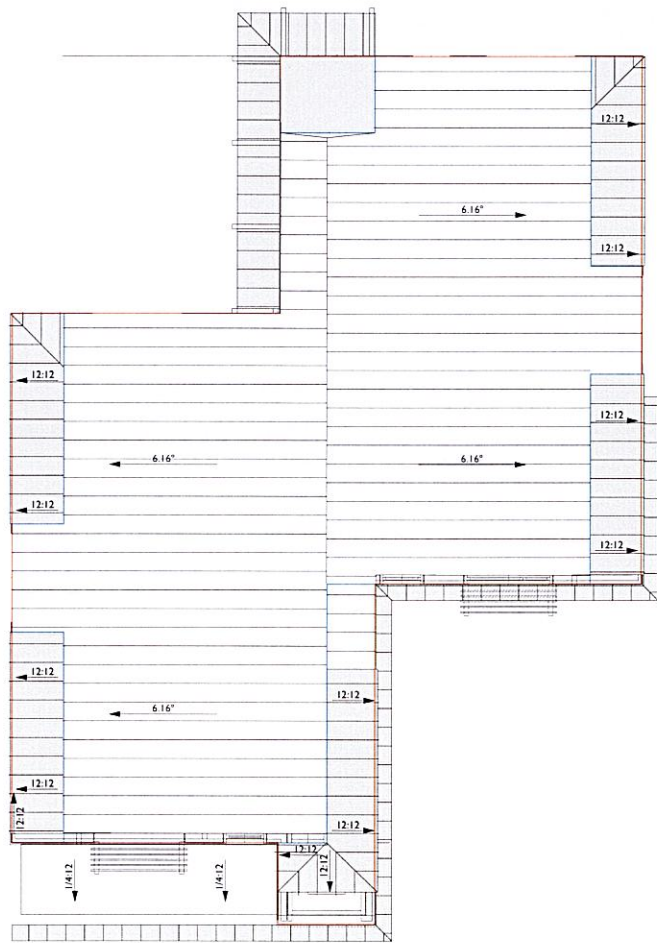
- LANDSCAPE:**
A. EXISTING TREES TO REMAIN/INTEGRATE W/NEW PLANTING
B. NEW DECIDUOUS TREES FOR SEASONAL SHADING
C. NEW CONIFEROUS TREES FOR SHADING/SCREENING
D. WALKWAY/BUILDING BASE PLANTING
E. GROUND COVER
F. CLIMBING DECIDUOUS VINE FOR SCREENING

- HARDSCAPE:**
G. STONE PAVERS (POROUS)
H. DRIVING/PARKING SURFACE
I. CONCRETE SIDEWALK (EXISTING)
J. SECONDARY WALK SURFACE

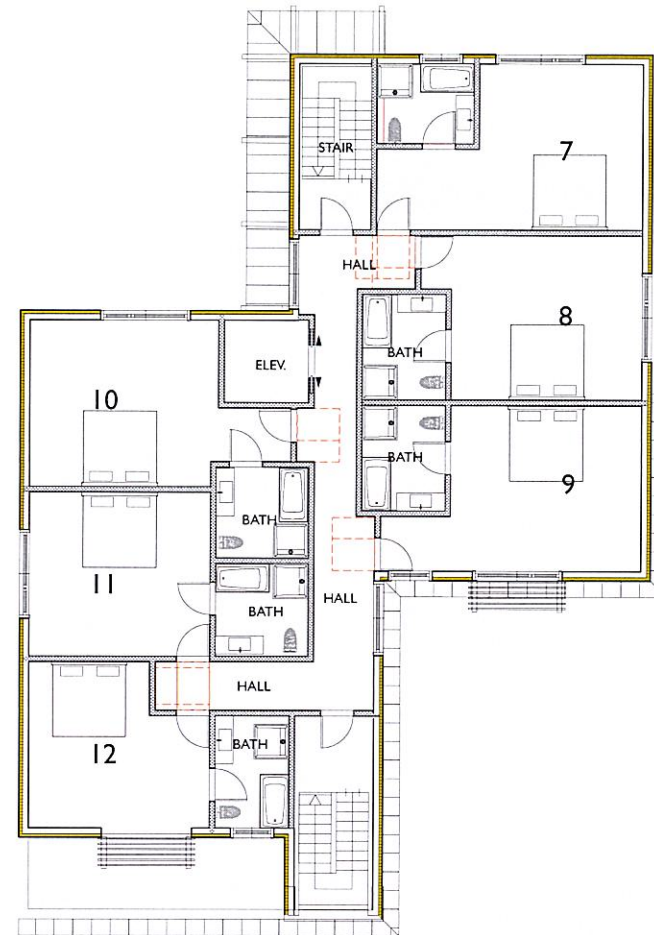
- LIGHTING:**
L. WALL MOUNTED SHIELDED FIXTURE
M. GROUND MOUNTED SHIELDED BOLLARD
N. WALL MOUNTED SHIELDED FLOOD HEADS

MISC.:
P. SIGNAGE LOCATION (COMPLIANT W/TOWN ORDINANCES)

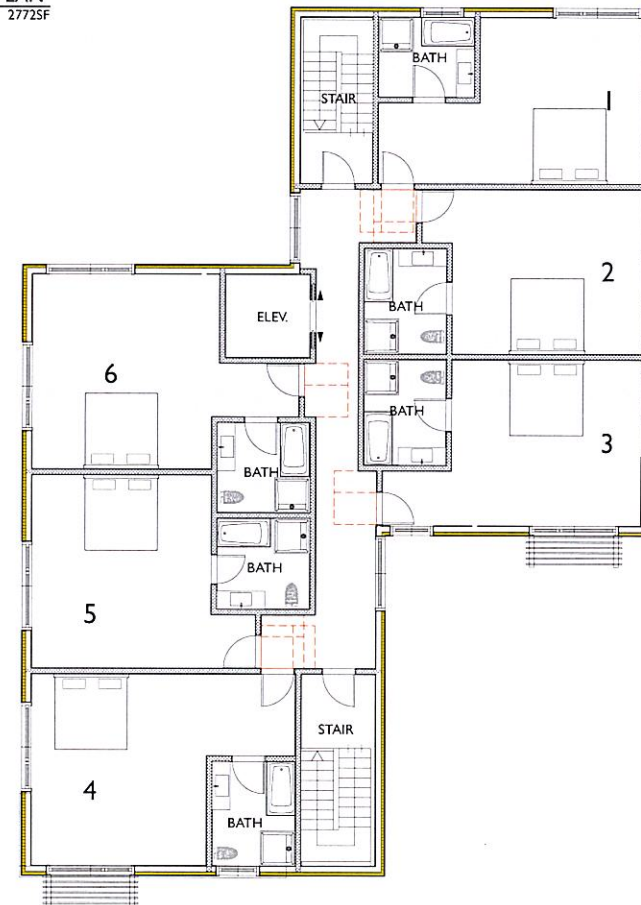
NOTE: THIS PLAN IS 'CONCEPTUAL' AND IS SUBMITTED TO DESCRIBE OWNER INTENT. PLAN SHALL BE DEVELOPED IN COORDINATION WITH SITE ENGINEERING REQUIREMENTS, VERIFIED CODE REQUIREMENTS AND PLANNING BOARD REVIEW PROCESS.



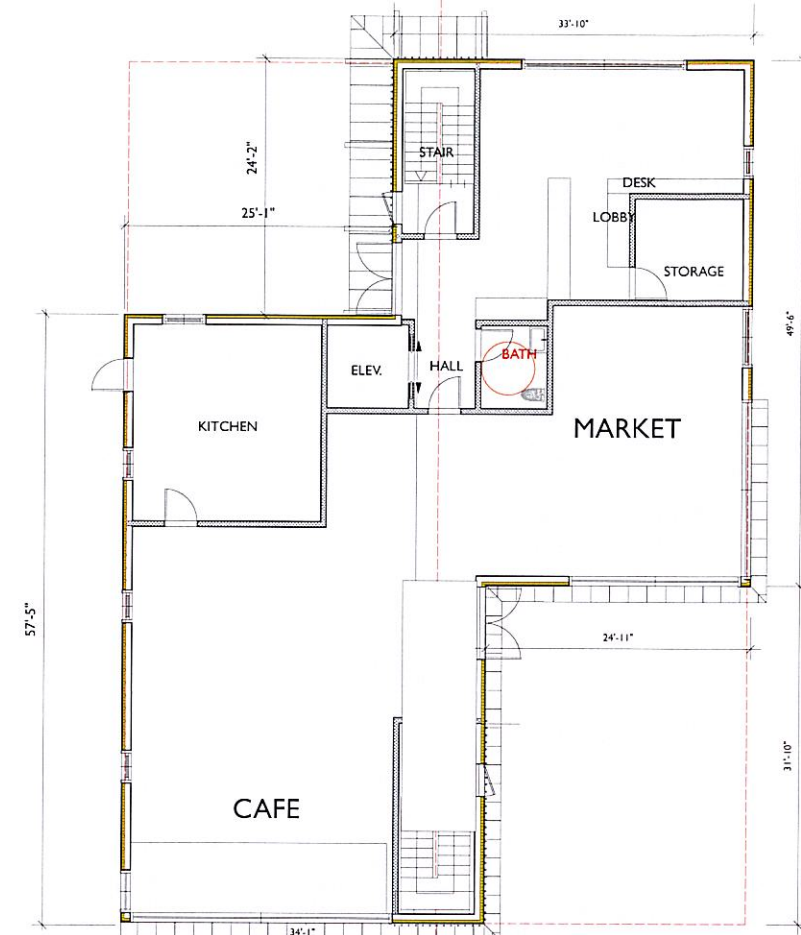
E ROOF PLAN
Scale: 1/8" = 1'-0"



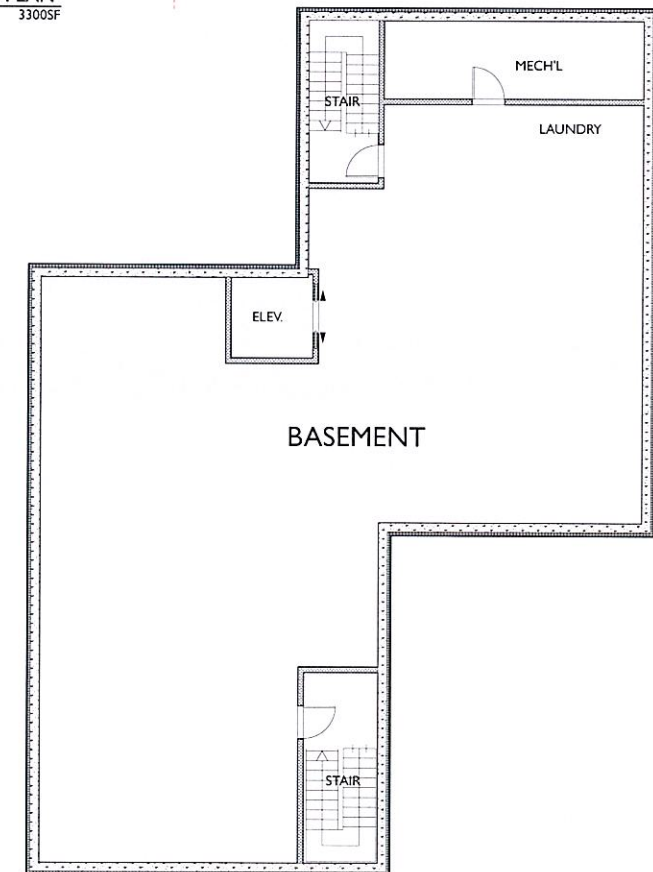
D DORMER LEVEL PLAN
Scale: 1/8" = 1'-0" 27'725F



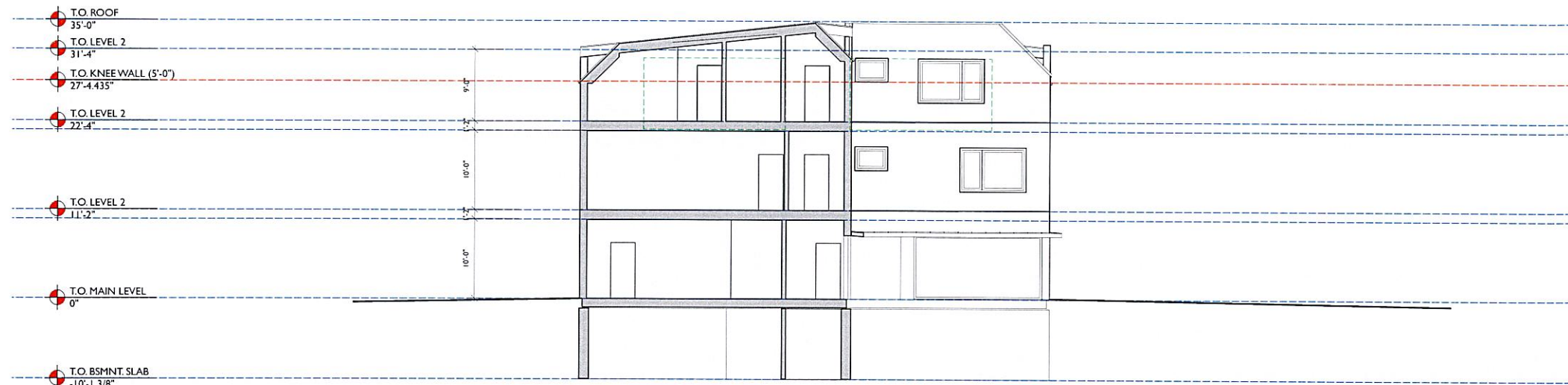
C UPPER FLOOR PLAN
Scale: 1/8" = 1'-0" 33'005F



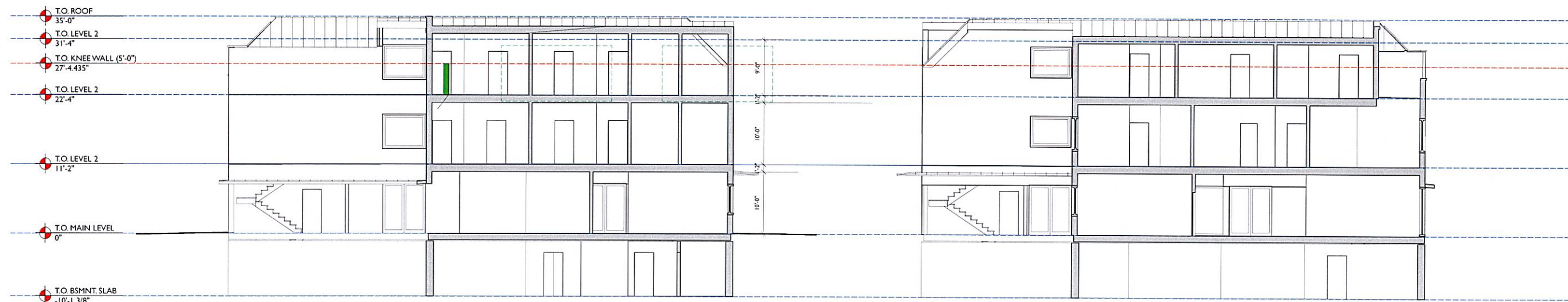
B MAIN LEVEL PLAN
Scale: 1/8" = 1'-0" 33'005F



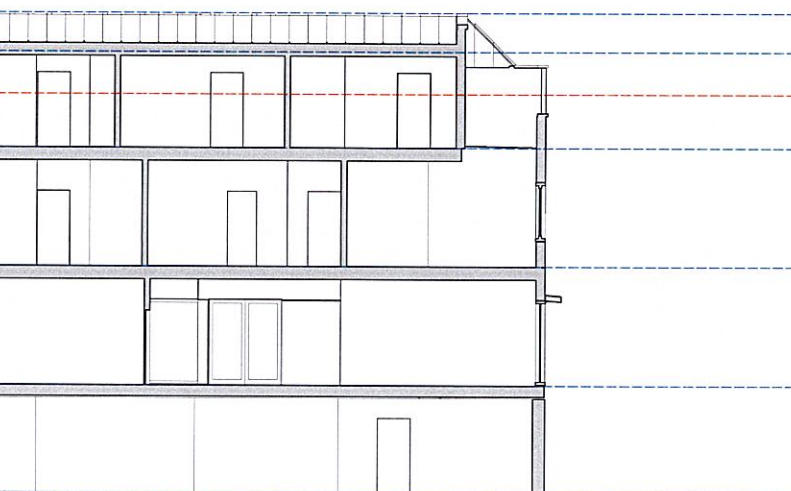
A BASEMENT PLAN
Scale: 1/8" = 1'-0" 33'005F



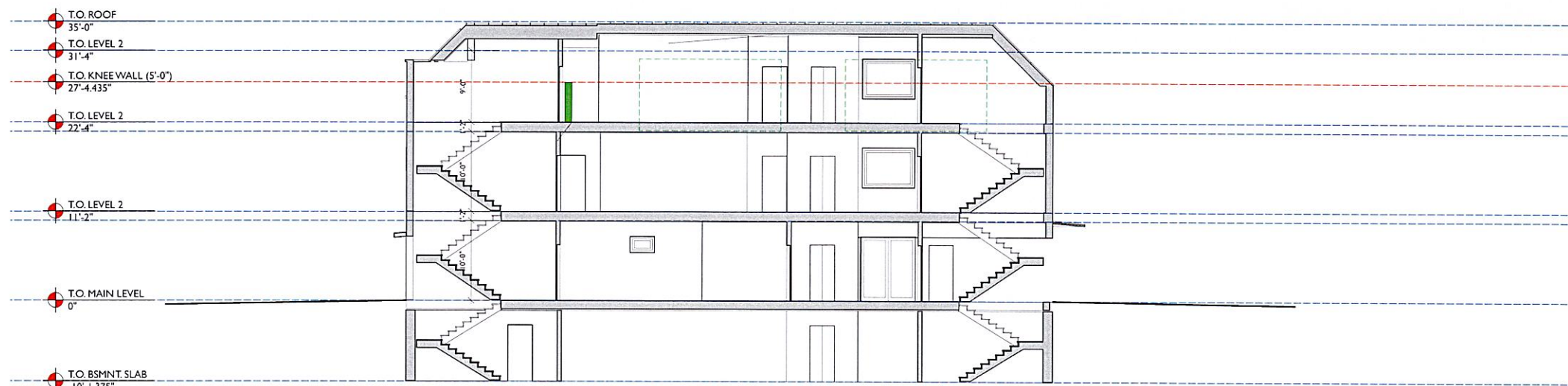
D SITE/CROSS SECTION
Scale: 1/8" = 1'-0"



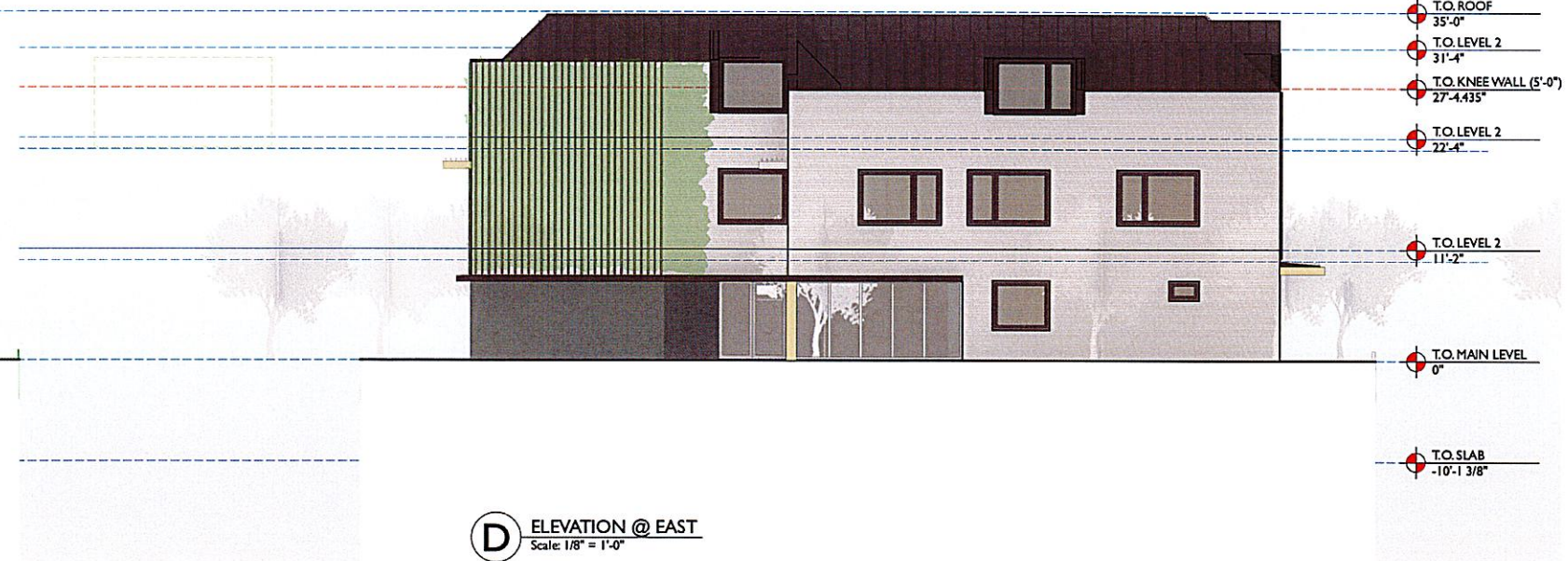
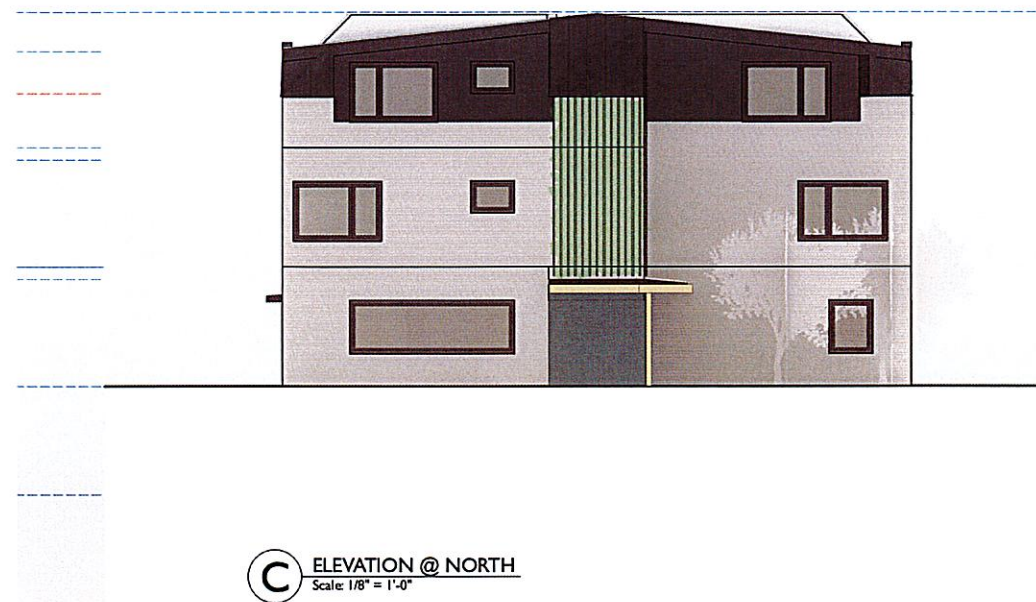
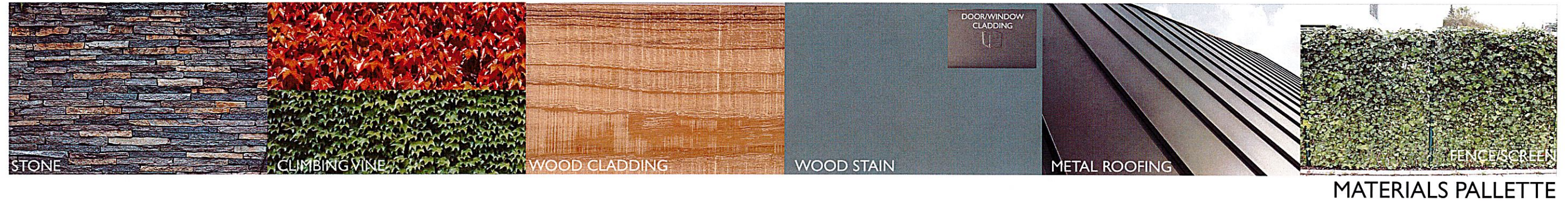
C WEST WING SECTION
Scale: 1/8" = 1'-0"

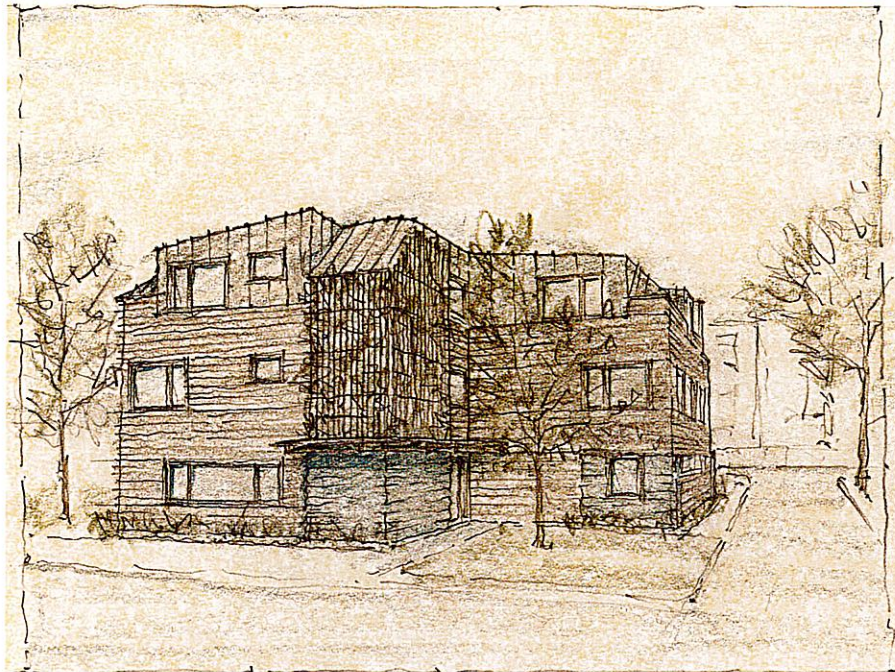


B EAST WING SECTION
Scale: 1/8" = 1'-0"

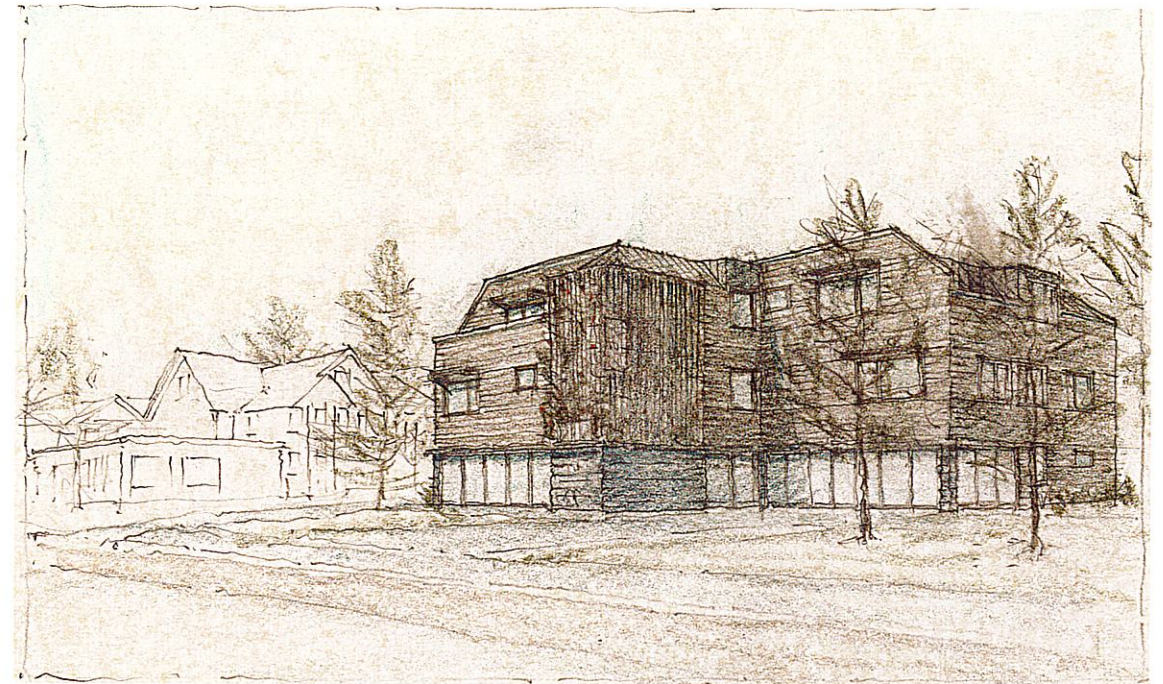


A SECTION THROUGH STAIR/HALL/ELEV.
Scale: 1/8" = 1'-0"

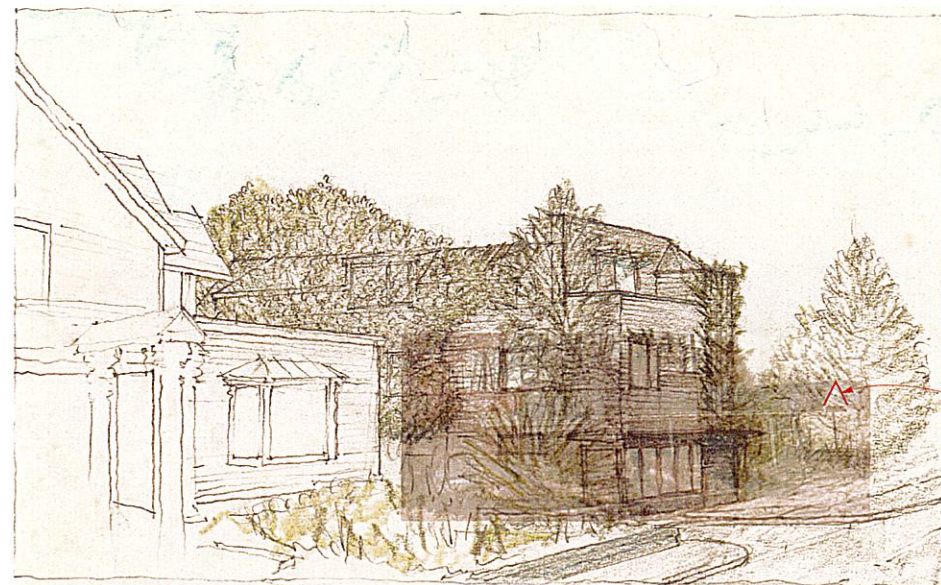




LOOKING SOUTH FROM MOWER'S LANE

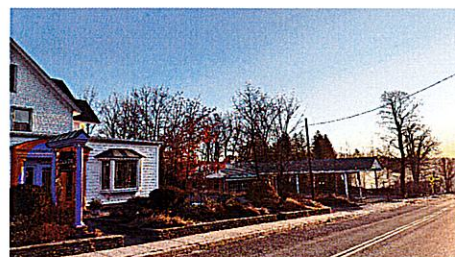


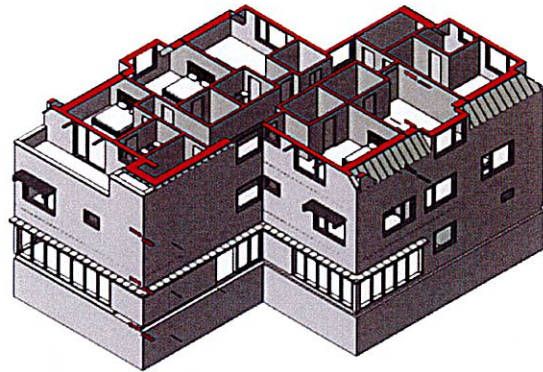
LOOKING NORTHWEST FROM MILL HILL RD.



LOCATION OF
EXISTING CANOPY
GABLE

LOOKING NORTHEAST FROM MILL HILL RD.

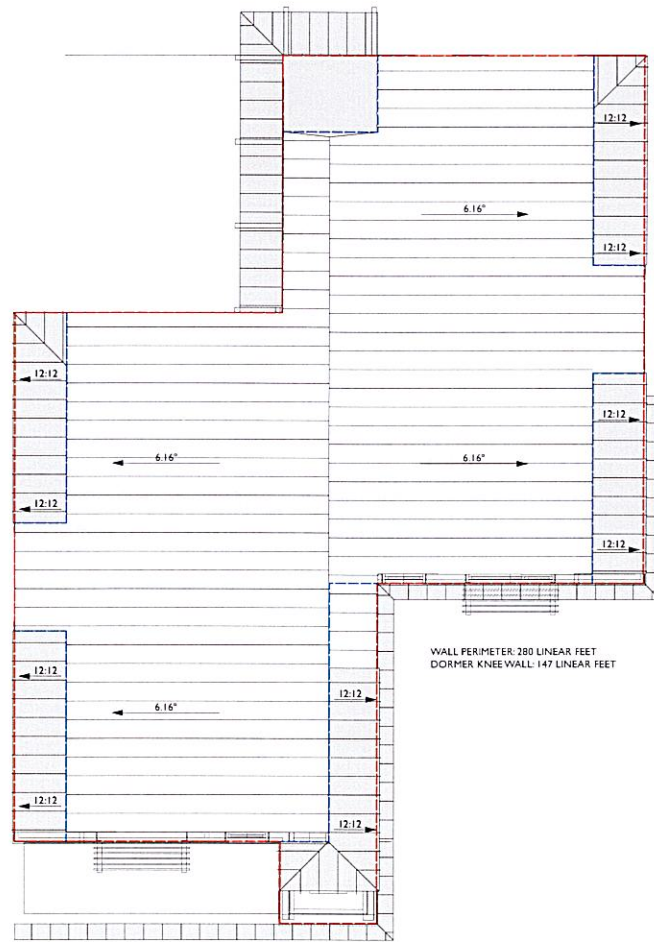




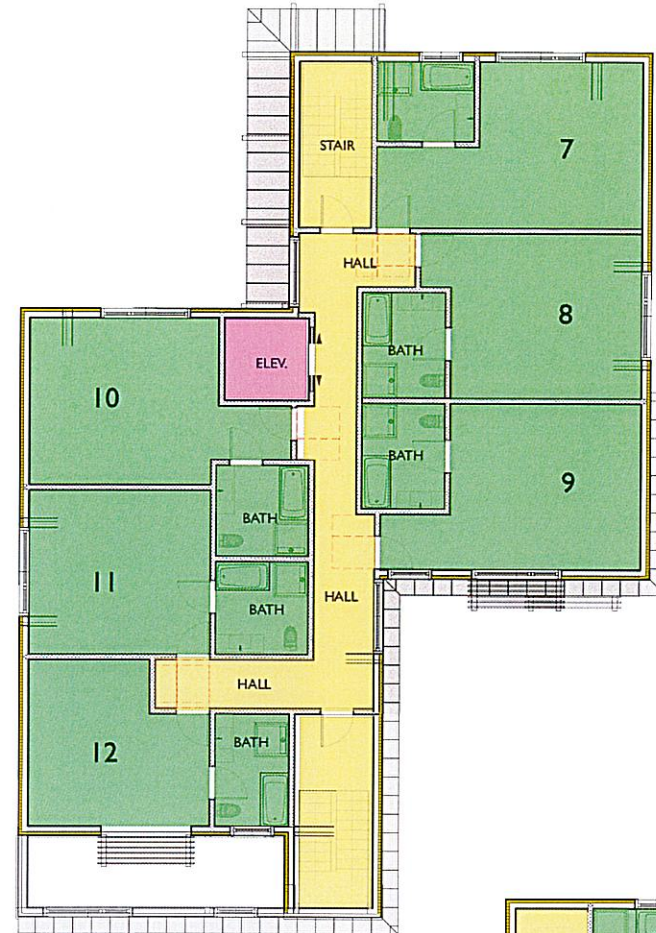
WALL PERIMETER: 280 LINEAR FEET
DORMER KNEE WALL: 147 LINEAR FEET

STORY, HALF

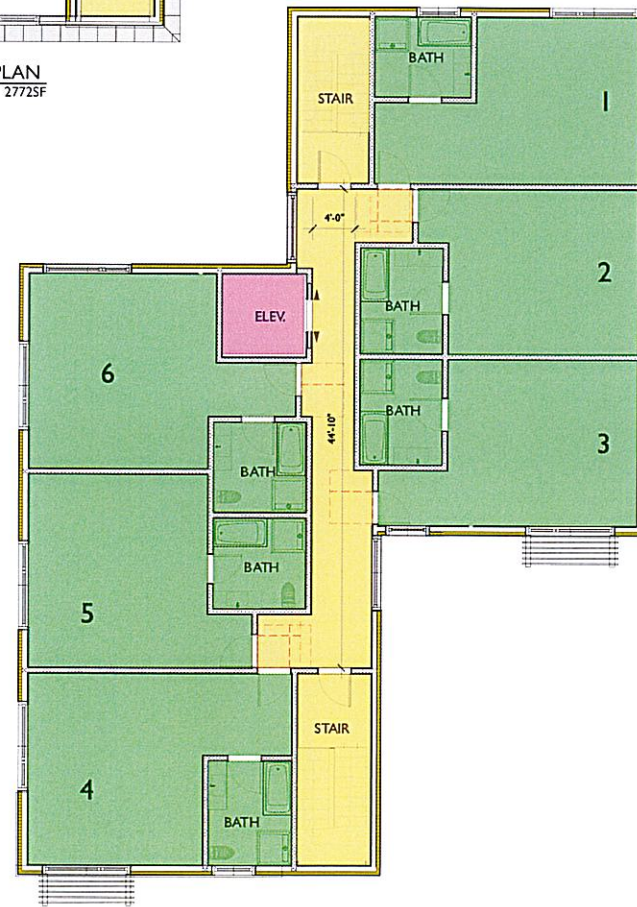
That portion of a building situated above a full story and having at least two opposite exterior walls meeting a sloping roof at a level not higher above the floor than a distance equal to 1/2 the floor-to-ceiling height of the story below.



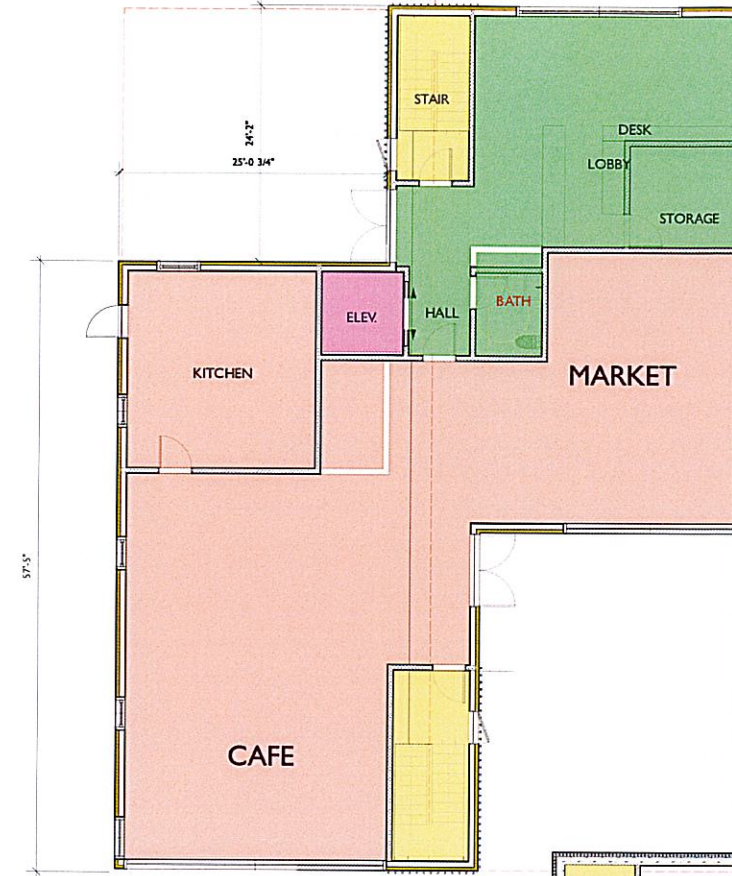
8 ROOF PLAN
Scale: 1/8" = 1'-0"



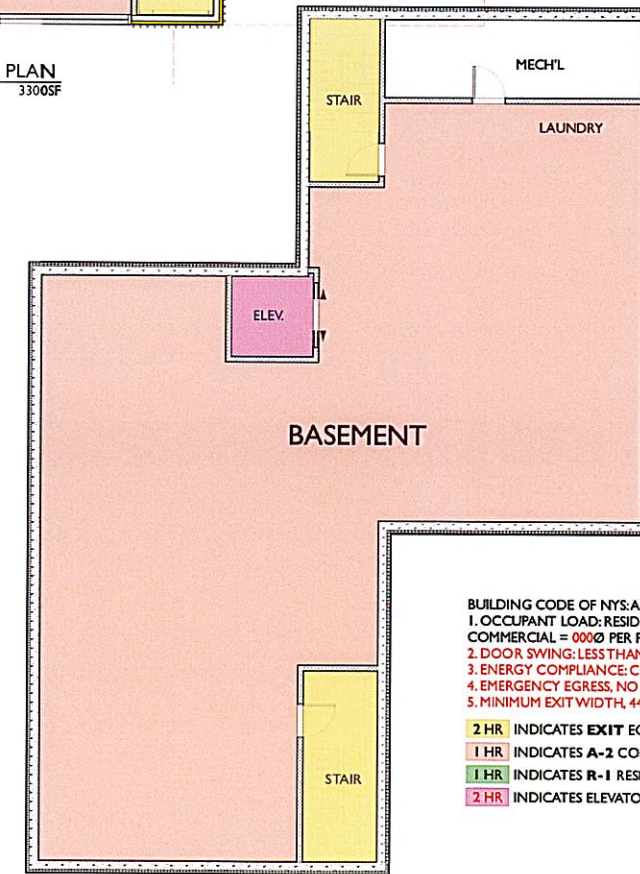
10 DORMER LEVEL PLAN
Scale: 1/8" = 1'-0" 2772SF



9 UPPER FLOOR PLAN
Scale: 1/8" = 1'-0" 3300SF

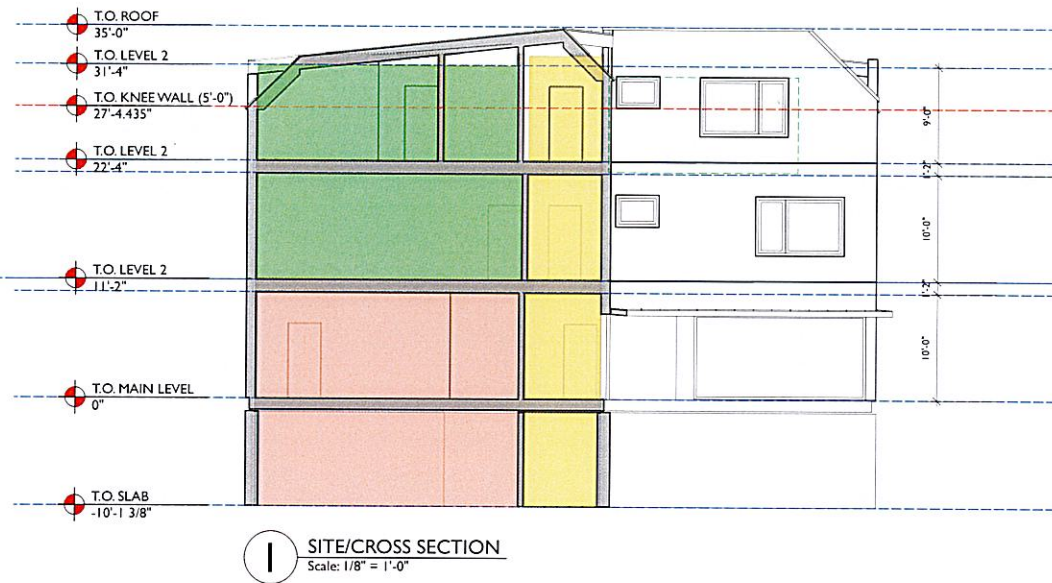
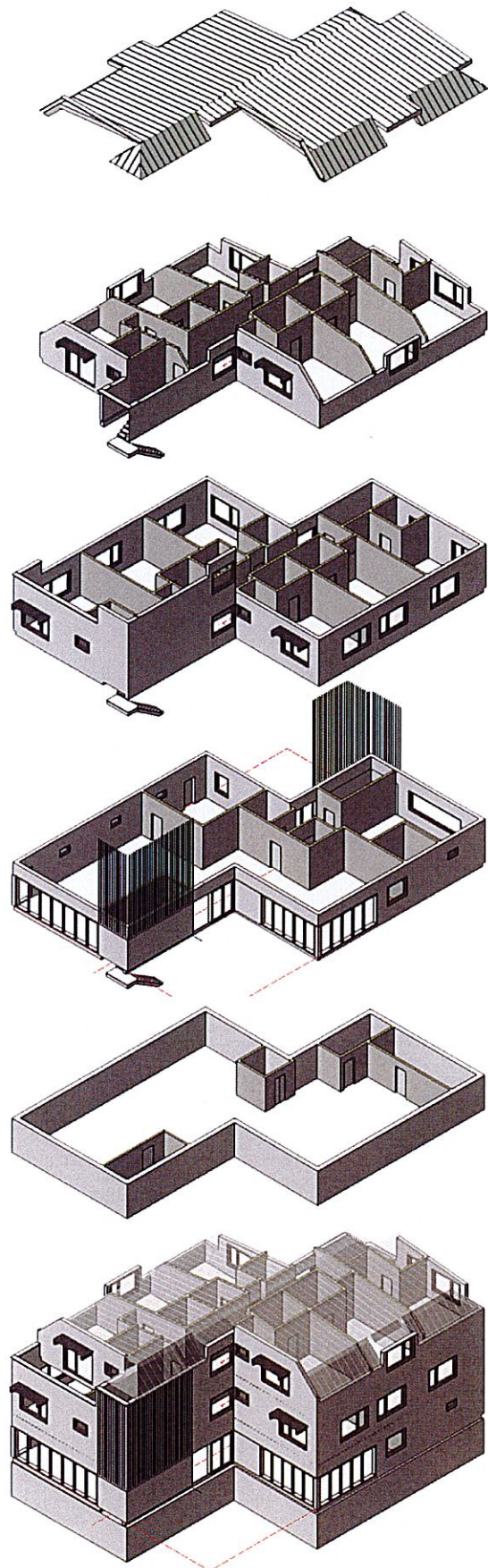


12 MAIN LEVEL PLAN
Scale: 1/8" = 1'-0" 3300SF



13 BASEMENT PLAN
Scale: 1/8" = 1'-0" 3300SF

BUILDING CODE OF NYS: ASSUMPTIONS
1. OCCUPANT LOAD: RESIDENTIAL = 2000 PER PERSON GROSS.
COMMERCIAL = 0000 PER PERSON GROSS.
2. DOOR SWING: LESS THAN 4 STORIES, EITHER DIRECTION
3. ENERGY COMPLIANCE: COMCHECK
4. EMERGENCY EGRESS, NO EGRESS WINDOWS REQUIRED.
5. MINIMUM EXIT WIDTH, 44" AT CORRIDORS, 36" @ STAIRS.
2 HR INDICATES EXIT EGRESS/EXIT/DISCHARGE
1 HR INDICATES A-2 COMMERCIAL USE
1 HR INDICATES R-1 RESIDENTIAL USE
2 HR INDICATES ELEVATOR SHAFT



SECTION 601 GENERAL

TABLE 601
FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

TABLE 1004.2.1
SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY
R-1 > 10 occupancy 2 exits

1007.1.1 Two exits or exit access doorways.
Where two exits, exit access doorways, exit access stairways or ramps, or any combination thereof, are required from any portion of the exit access, they shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the building or area to be served measured in a straight line between them. Interlocking or scissor stairways shall be counted as one exit stairway.
Exceptions: 2. Where a building is equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2, the separation distance shall be not less than one-third of the length of the maximum overall diagonal dimension of the area served.

SECTION 10100 DOORS, GATES AND TURNSTILES

1010.1.2 Direction of swing.

Pivot or side-hinged swinging doors shall swing in the direction of egress travel where serving a room or area containing an occupant load of 50 or more persons or a Group H occupancy.

SECTION 1011 STAIRWAYS

1011.2 Width and capacity.

1. The required capacity of stairways shall be determined as specified in Section 1005.1, but the minimum width shall be not less than 44 inches (1118 mm). See Section 1009.3 for accessible means of egress stairways.

Exceptions:

1. Stairways serving an occupant load of less than 50 shall have a width of not less than 36 inches (914 mm).

SECTION 1022 EXITS

1022.1 General.

Exits shall comply with Sections 1022 through 1027 and the applicable requirements of Sections 1001 through 1015. An exit shall not be used for any purpose that interferes with its function as a means of egress. Once a given level of exit protection is achieved, such level of protection shall not be reduced until arrival at the exit discharge. Exits shall be continuous from the point of entry into the exit to the exit discharge.

SECTION 1023 INTERIOR EXIT STAIRWAYS AND RAMP

1023.1 General.

Interior exit stairways and ramps serving as an exit component in a means of egress system shall comply with the requirements of this section. Interior exit stairways and ramps shall be enclosed and lead directly to the exterior of the building or shall be extended to the exterior of the building with an exit passageway conforming to the requirements of Section 1024, except as permitted in Section 1024.1. An interior exit stairway or ramp shall not be used for any purpose other than as a means of egress and a circulation path.

1023.2 Construction.

Enclosures for interior exit stairways and ramps shall be constructed as fire barriers in accordance with Section 202 or horizontal assemblies constructed in accordance with Section 211, or both. Interior exit stairway and ramp enclosures shall have a fire-resistance rating of not less than 2 hours where connecting four stories or more and not less than 1 hour where connecting less than four stories. The number of stories connected by the interior exit stairways or ramps shall include any basements, but not any mezzanines. Interior exit stairways and ramps shall have a fire-resistance rating not less than the floor assembly penetrated, but need not exceed 2 hours.

SECTION 1024 EXIT PASSAGEWAYS

1024.2 Width and capacity.

The required capacity of exit passageways shall be determined as specified in Section 1005.1, but the minimum width shall be not less than 44 inches (1118 mm), except that exit passageways serving an occupant load of less than 50 shall be not less than 36 inches (914 mm) in width. The minimum width or required capacity of exit passageways shall be unobstructed.

BUILDING CODE OF NYS ASSUMPTIONS

1. OCCUPANT LOAD: RESIDENTIAL = 2000 PER PERSON GROSS.
COMMERCIAL = 2000 PER PERSON GROSS.

2. DOOR SWING: LESS THAN 4 STORIES, EITHER DIRECTION EXCEPT FOR EXITING, TO SWING IN DIRECTION OF EXIT PATH.

3. ENERGY COMPLIANCE: COMCHECK.

4. EMERGENCY EGRESS, NO EGRESS WINDOWS REQUIRED.

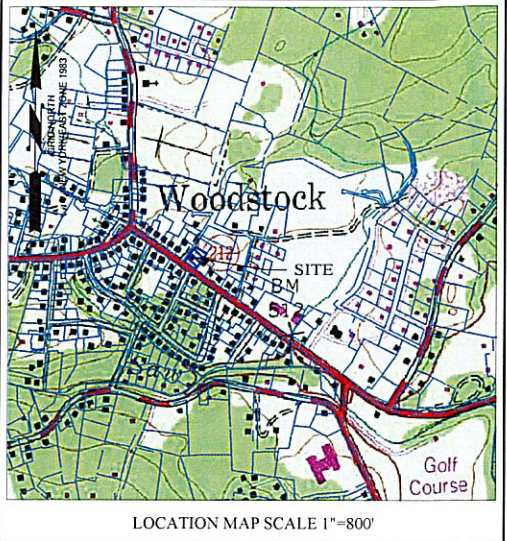
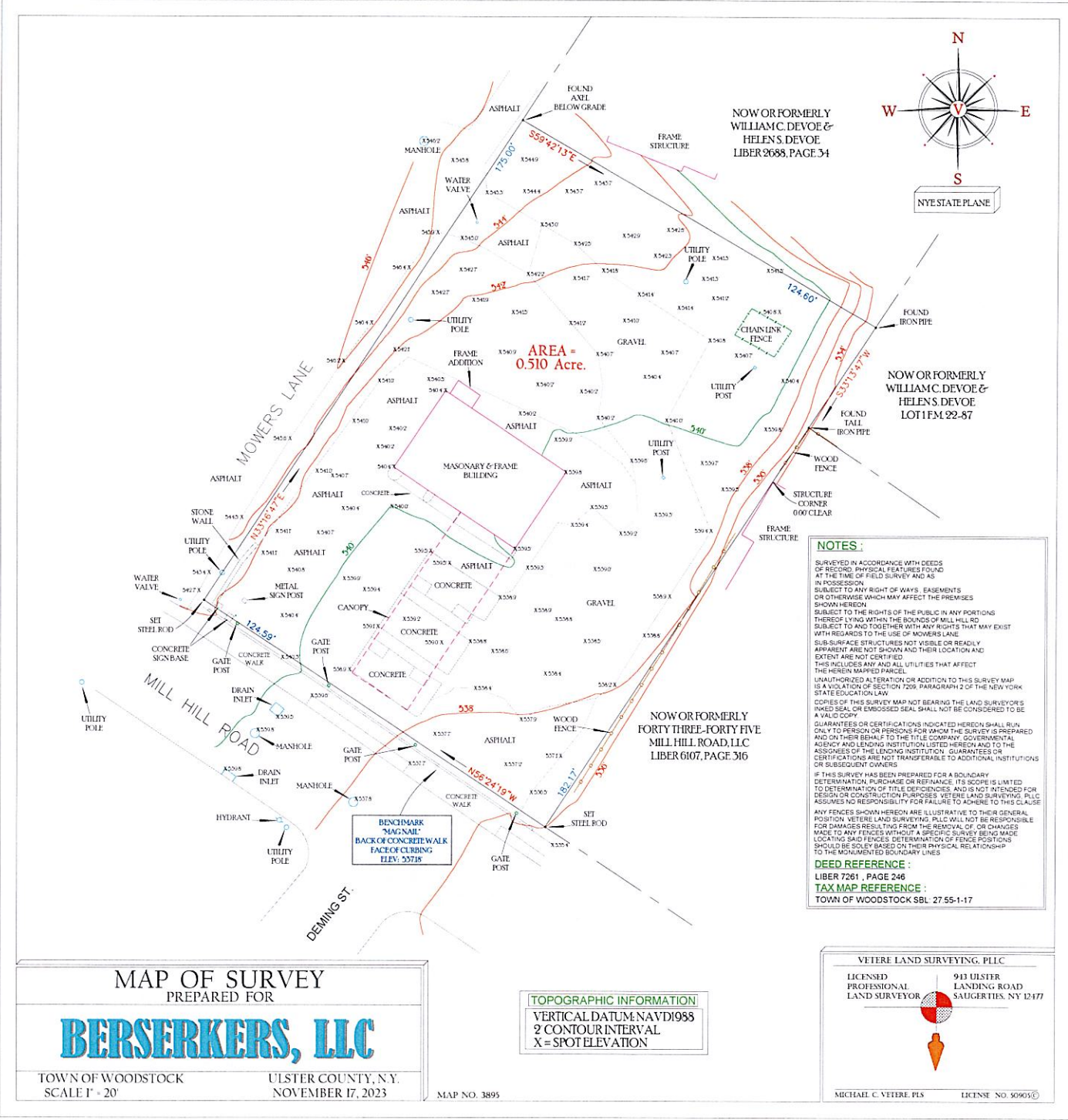
5. MINIMUM EXIT WIDTH, 44" AT CORRIDORS, 36" @ STAIRS.

2 HR INDICATES EXIT EGRESS/EXIT/DISCHARGE

1 HR INDICATES A-2 COMMERCIAL USE

1 HR INDICATES R-1 RESIDENTIAL USE

2 HR INDICATES ELEVATOR SHAFT



EXISTING
CONDITIONS
FOR
BERSERKERS LLC
TOWN OF WOODSTOCK
ULSTER COUNTY - NEW YORK

MEDENBACH, EGGERS & CARR
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STONE RIDGE, NEW YORK (845) 687-0047